



Commercial Building

XXX Road

XXX, XX

Full ASTM Property Condition Assessment

XXX

Engagement Agreement Date: February 28, 2025

Mr. XXX

Report Date: March 19, 2025

Contact: Ryan.Jones@USAInspect.com

Mr. XXX

CEO

XXX



Dear Mr. XXX,

At your request, we have completed our **Full ASTM Property Condition Assessment** of the Commercial Building in accordance with our engagement agreement dated February 28, 2025.

Thank you for choosing our firm to monitor this project on your behalf. Please carefully review this report, and feel free to call should you have any questions or need clarification in any way.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt Parker".

Matt Parker | Consultant

USA Property Condition Consultants

A handwritten signature in blue ink, appearing to read "Ryan Jones".

Ryan Jones | Manager

USA Property Condition Consultants

Email Distribution: XXX

Attachments:

Exhibit A – Building and Site Photographs

Exhibit B – 10-Year Reserve Analysis Table

Exhibit C – County Property Information qpublic.net

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1. Executive Summary

1.1. GENERAL DESCRIPTION

The property consists of an approximately 4,000-square-foot office building situated on an approximately 0.49-acre parcel located at XXX Road, XXX, XX.



Per the XXX County Tax Records, the building was originally constructed in 1952. The site was later improved with additions dated 1976. The site is equipped with an entry/exit drive with direct access to N. Druid Hills Road. The site is equipped with concrete curb and gutter surrounding asphalt paved parking areas. The property appears to be equipped with all public utilities.

The building appears to be supported by a crawlspace foundation system consisting of perimeter footers and CMU block stem walls. The building is wood framed and consists of a painted brick veneer and Hardie board siding.

1.2. GENERAL PHYSICAL CONDITION

In comparison to other buildings of this type and age, it is our opinion that the property is in overall **fair** condition. As with any building, there are some noted minor items of immediate and short-term significance which are further discussed within this report, yet we note the overall condition to be above average for a building of this type and age.

1.3. OPINION OF PROBABLE COSTS

The opinion of USA PROPERTY CONDITION CONSULTANTS concerning probable costs to remedy physical deficiencies is summarized as follows:

- Immediate Repairs: **\$ 21,300**
- Short-Term Repairs: **\$125,500**
- 10-Year Replacement Reserve (Inflated): **\$ 48,829**

1.4. DEVIATIONS FROM THE GUIDE

The USA Property Condition Consultants Property Condition Assessment (PCA) was performed in general accordance with the American Society for Testing and Materials (ASTM) Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process (E 2018-01).

Note that the report requestor chose a Full Property Condition Assessment which reports on Immediate, Short-Term repair concerns, and includes a 10-year Replacement Reserve Analysis.

1.5. RECOMMENDATIONS FOR ADDITIONAL INVESTIGATION

N/A.

1.6 REPORT CARD

 PHYSICAL CONDITION SUMMARY	GOOD	FAIR	POOR
3.1 - SITE			
3.1.1 - TOPOGRAPHY	X		
3.1.1 - FLOOD ZONE	X		
3.1.1 - SEISMIC ZONE	X		
3.1.2 - STORM WATER DRAINAGE		X	
3.1.3 - ACCESS AND EGRESS		X	
3.1.4 - PAVING, CURBING AND PARKING			X
3.1.5 - FLATWORK		X	
3.1.6 - LANDSCAPING AND APPURTENANCES		X	
3.1.7 - UTILITIES		X	
3.2 - FRAME AND ENVELOPE			
3.2.1 - FOUNDATION		X	
3.2.2 - BUILDING FRAME		X	
3.2.3 - BUILDING EXTERIOR		X	
3.2.4 - ROOFS AND ATTICS		X	
3.3 - INTERIOR ELEMENTS			X
3.4 - MECHANICAL, ELECTRICAL, AND PLUMBING			
3.4.1 - PLUMBING		X	
3.4.2 - CONDITIONED AIR AND VENTILATION		X	
3.4.3 - ELECTRICAL			X
3.4.4 - ELEVATORS - N/A.			
3.5 - FIRE/LIFE SAFETY		X	
3.6 - ADA COMPLIANCE		X	
3.7 - ASBESTOS/ENVIRONMENTAL CONCERNS		X	
3.8 - BUILDING CODE VIOLATION ISSUES		X	

2. Purpose and Scope

2.1. PURPOSE

- Identify significant defects, deficiencies, items of deferred maintenance and material building code violations (individually and collectively, Physical Deficiencies) as a result of a visual survey, review of documents and research and interrogatories as described herein.
- Prepare estimated costs to remedy the Physical Deficiencies which are of immediate need or short term (1-2 years from issuance of the report). A Replacement Reserve Analysis spanning 10 years of future ownership and needed replacements (based on Remaining Useful Life – RUL) during this period are also included in this assessment.
- Prepare a written report (the Report) that opines on the Subject's overall physical condition, describes pertinent components or systems of the Subject property, and identifies Physical Deficiencies and conditions that would limit the expected useful life of major components or systems and provides estimated costs to remedy Physical Deficiencies and to provide for annual Replacement Reserve Expenditures.

2.2. SCOPE

We observed property components, systems, and elements that are easily visible and readily accessible for the purposes of describing the same, opining on their apparent physical condition, and identifying significant Physical Deficiencies.

As noted in American Society for Testing and Materials (ASTM) guidelines, we are not required to prepare detailed calculations, to remove materials, to operate equipment not typically operated by tenants or to conduct any exploratory probing or testing. This was a non-intrusive, visual survey; however, we have made a reasonable attempt at discovery.

Survey procedures consist of:

- Walk-around visual survey.
- Random operation of equipment, fixtures and systems, which are normally operated by tenants, on a sampling basis to determine system operability or operating characteristics.
- Noting material building code violations of items, systems or inherent design that are readily apparent and discernible as a result of the "walk-through" survey.
- Taking measurements and system counts to adequately justify estimated costs to remedy Physical Deficiencies.

We provided the existing management with a Pre-Inspection Questionnaire and Disclosure Schedule and a Property Condition Assessment Document and Information Checklist. The Questionnaire and Checklist were returned and were utilized in the production of this report.

The following are definitions for the conditions described for this project:

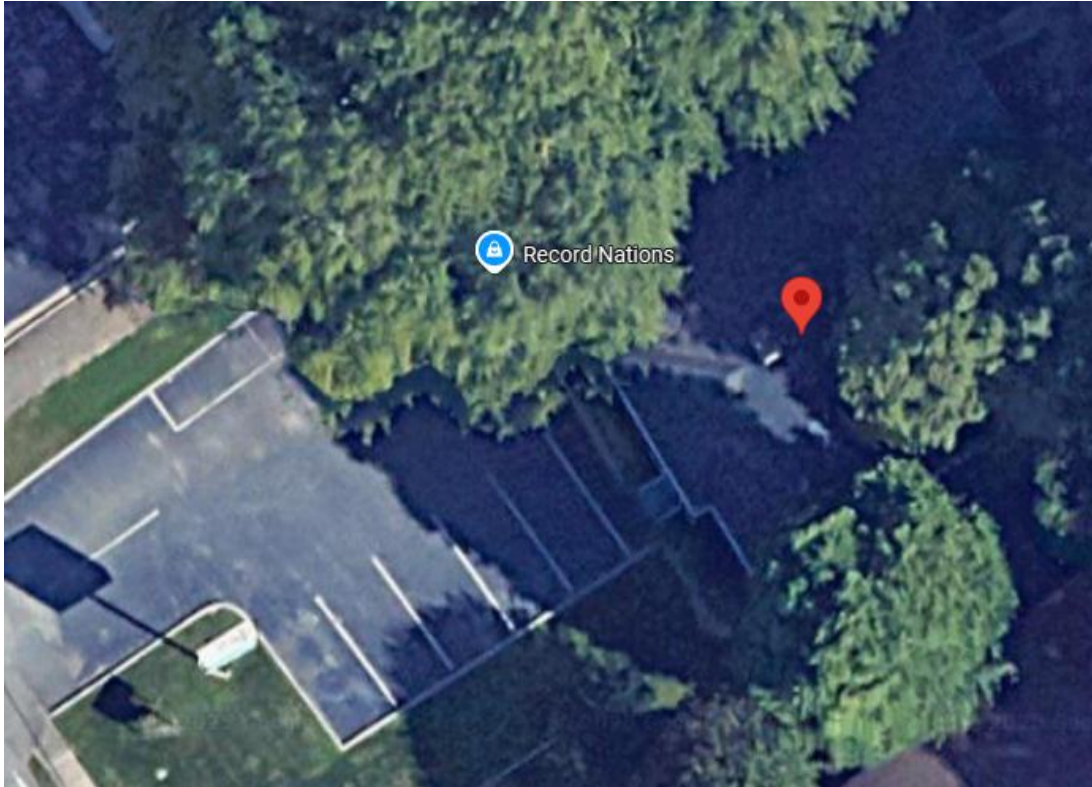
- Good: Above average for this type and age of building in this geographic area. Little to no work required.
- Fair: Typical condition for this type and age of building in this geographic area. Some work is typically required primarily due to the normal aging of the system or material.
- Poor: Below average condition for this type and age of building in this geographic area. Significant work or total replacement required.

Any work that we consider normal maintenance for a facility of this type or work normally performed by maintenance staff is not considered in our evaluation. We have not included repair costs for items with a total related value of less than \$5,000; however, items relating to life safety or accessibility are included regardless of this cost threshold.

3. Property Description and Condition

Mr. Ryan Jones completed the field inspection on Tuesday, March 4, 2025. The field inspection included walking the entirety of the site, inspection of the exterior of building including the roof, and interior walkthrough of the buildings.

3.1. SITE



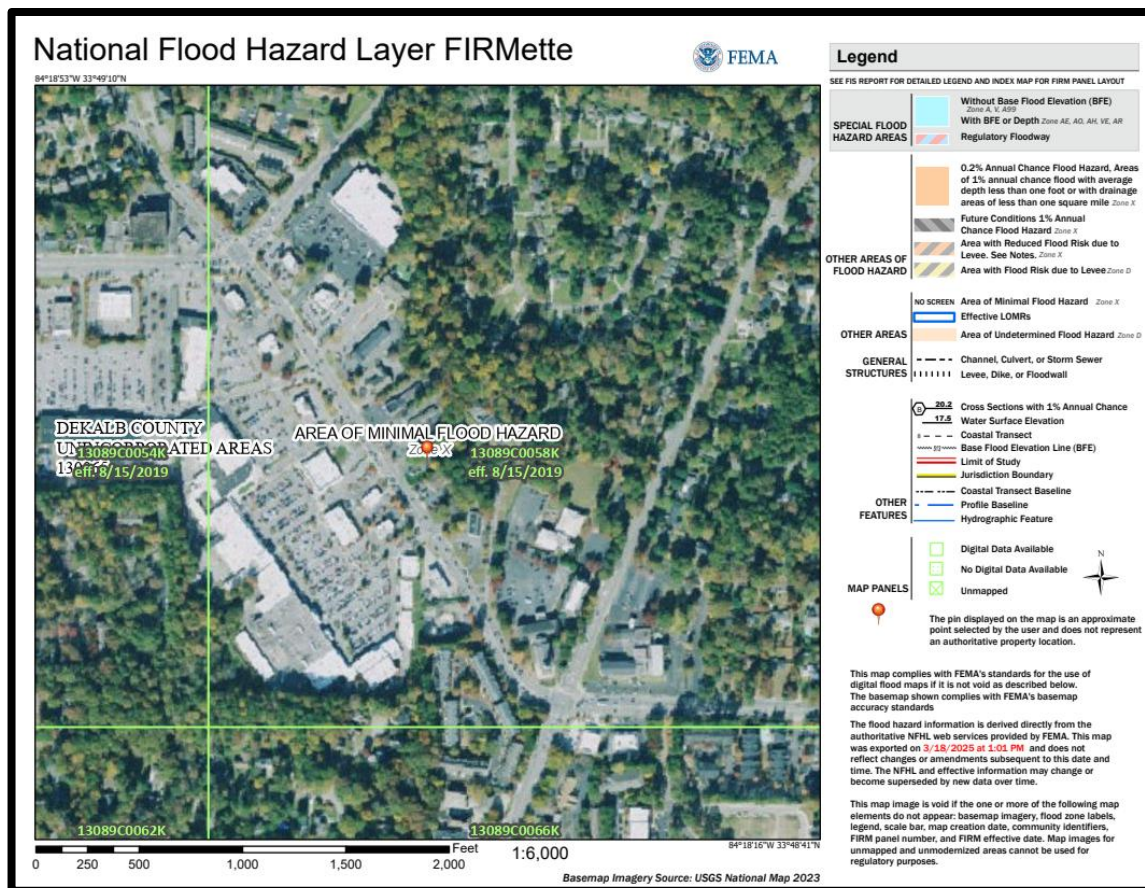
3.1.1. TOPOGRAPHY, FLOOD ZONES AND SEISMIC ZONES

Description:

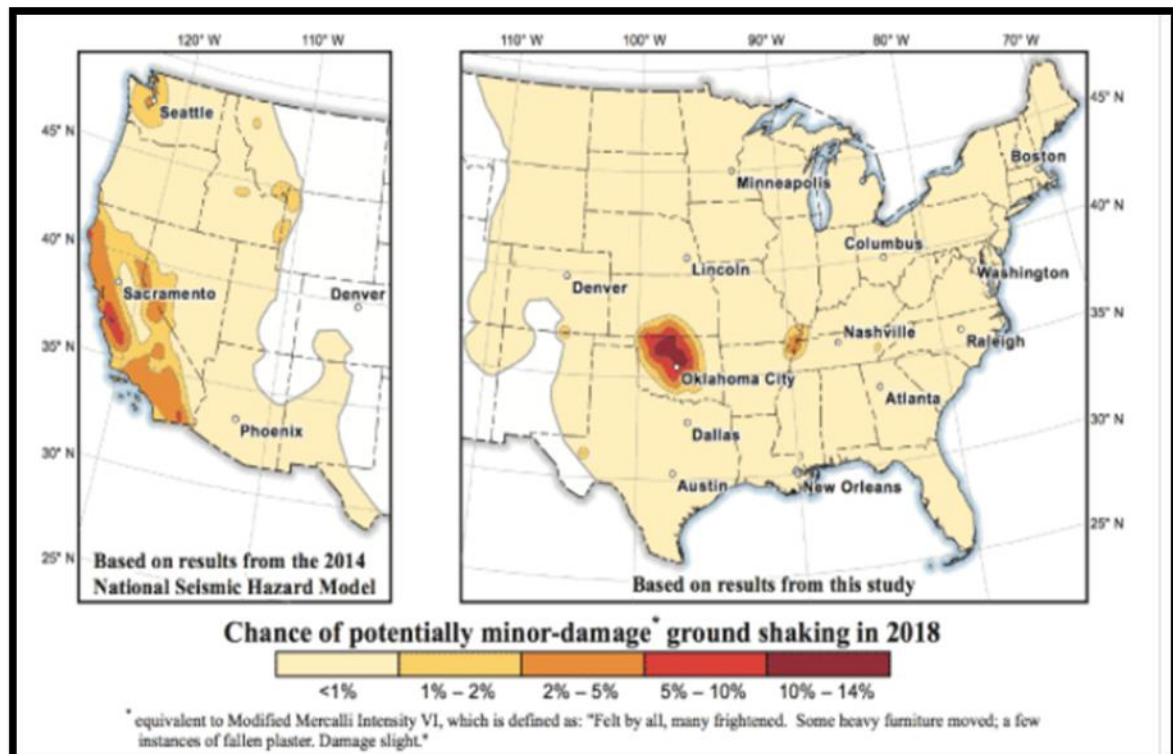
The property is relatively flat with minimal elevation change (less than 10 feet across the site). The grade around the perimeter of the building appears to maintain a positive slope away from the building.

Observation/Comments:

- No visual issues were observed with the topography of the site.
- According to Flood Insurance Rate Map Number, the property is located within Zone X (Minimal Flood Hazard Zone).



- Per the U. S. Geological Survey National Seismic Hazard Mapping Project, the property is located in a zone with low risk of seismic activity. Seismic forces do not control structural design in these areas.



3.1.2. STORM WATER DRAINAGE

Description:

There appears to be no below grade drainage nor an onsite stormwater detention area. The building sheds stormwater via perimeter gutters and downspouts discharging above grade and surface flowing across the asphalt paved surfaces.

Observation/Comments:

- The stormwater drainage system is in fair condition. The gutter downspouts discharge directly at the base of the building. In some instances, there is minimal to negative slope at the discharge points, and paved surfaces should be modified to allow for positive drainage at least 5 feet away from the base of the building. Pricing to remedy this issue will be discussed within the paving section below as it can be addressed during the recommended pavement repair work.

3.1.3. ACCESS AND EGRESS

Description:

The site is equipped with direct access to N. Druid Hills Road via an entry/exit asphalt entry apron.

Observation/Comments:

- No significant issues regarding ingress or egress were noted for accessibility to the site parking and drive areas.

3.1.4. PAVING, CURBING AND PARKING

Description:

The site is equipped with asphalt paved parking areas providing a total of 11 standard parking spaces. The asphalt paved parking areas are encompassed with a concrete curb and gutter.

Observation/Comments:

- The asphalt paved parking lot was in poor condition. Several areas of alligator cracking and paving damage were observed throughout the paved surfaces due to root damage and other subsurface issues. The extent of the pavement damage affects the usability and surface drainage capabilities of the surface.
- Pricing has been included within the Short-Term Repair Section of this report to mill & overlay the entire parking lot, which will result in a smooth, new wearing surface of asphalt. We have also included pricing for installing new parking lot striping.
- We have also reflected pricing within the 10-Year Replacement Reserve Table to reseal and re-stripe the parking lot every 5 years.
- The concrete curbing appeared to be in good condition. Pricing has not been included for this item.
- ADA parking issues will be discussed within the ADA Section of this report.

3.1.5. FLATWORK

Description:

A concrete pedestrian sidewalk is provided along the road frontage.

Observation/Comments:

- The concrete sidewalk appeared to be in fair condition. The sidewalk was severely weathered; however, no significant surface cracking or spalling was observed. Pricing has not been included for this item.

3.1.6. LANDSCAPING AND APPURTENANCES

3.1.6.1 Property Signage

Description:

The site is equipped with pole mounted property signage. The sign appeared to be equipped with illumination capabilities.

Observation/Comments:

- The property signage appeared to be in fair condition. The sign was not illuminated at the time of our inspection; thus, we were unable to confirm the functionality of the illumination capability. We observed a photocell at the base of the signage, so we assume the sign illuminates at dusk.

3.1.6.2. Fences, Bridges, and Railings

Description:

The property is equipped with a wooden privacy fence along the northern and western property lines.

Observation/Comments:

- The wood fencing appeared to be in fair condition. The wood pickets appeared to be weathered, and a few areas of bowing were observed at the wooden support post. Pricing for these repairs fall below the \$5,000 threshold for inclusion within this report.

3.1.6.3. Landscaping and Appurtenances

Description:

Landscaping consists of grassy areas at the front of the site and mature trees at the back of the site. The front elevation of the building is equipped with landscaping beds planted with small shrubbery and bedded with pine straw.

Observation/Comments:

- A hardwood tree is located at the rear of the building near the A/C compressor units. The area between the tree and the building has asphalt pavement which is severely damaged due to tree roots. Removal of the tree is recommended as the roots are approaching the building foundation and future damage to the foundation could occur. An allowance for removal of this tree and additional tree trimming (See Section 3.1.7.2 below) is included in the Short-Term Repair Estimate in Section 4 of this report.
- The landscaping appeared to be in fair condition. Landscaping upgrades are not considered within this report; thus, pricing has not been included for this section.

3.1.6.4. Retaining Walls

Description:

The site is not equipped with retaining walls.

Observation/Comments:

- N/A.

3.1.6.5. Site Lighting

Description:

The site is not equipped with pole mounted site lighting. The building is equipped with exterior mounted lighting.

Observation/Comments:

- While we did not observe the property at night, the exterior building lighting generally appeared as though it would be sufficient considering the lighting is maintained and operational. We did observe a missing exterior light at the side elevation of the building. Pricing to replace this light falls below the \$5,000 threshold for inclusion within this report.

3.1.6.6. Amenities

Description:

The site is not equipped with any site amenities.

Observation/Comments:

- N/A.

3.1.6.7. Waste Receptacles

Description:

Trash services are accomplished at the site via one dumpster located at the northwest corner of the parking lot.

Observation/Comments:

- The dumpster is not equipped with a dumpster pad and is sitting directly on the asphalt paving. To avoid further paving damage, pricing has been included within the Short-Term Repair Section of this report to pour a dumpster pad, loading zone pad, and install protective bollards.

3.1.7. UTILITIES

3.1.7.1. Water

Description:

Water appears to be provided by a public source. The municipality typically owns and maintains any waterlines that are 6 inches or larger. The lines running from the main to the building are typically the responsibility of the property owner.

We observed a single meter service and a main shut-off valve located along the road frontage.

Observation/Comments:

- The water meter box was full of water suggesting a leak. We have included pricing within the Immediate Repair Section of this report for a plumber to investigate this issue.

3.1.7.2. Electricity

Description:

The site is served via overhead power from a pole mounted transformer. Power enters the tenant space via a roof mounted electrical mast.

Observation/Comments:

- Electrical power is provided by XXX.
- The tree around the building is in close proximity to the main power feeds serving the electrical mast. Pricing has been included within the Immediate Repair Section of this report for tree trimming.

3.1.7.3. Natural Gas

Description:

The site is equipped with a natural gas service. The gas meter is located at the back elevation of the building.

Observation/Comments:

- No problems were reported or observed with the gas service.

3.1.7.4. Sewer

Description:

We did not observe a municipal sewer manhole or other sewer system improvement in the area, nor did we observe any septic sewer cleanouts around the exterior of the building. The location of all sewer components and site locations were not confirmed and an as-built drawing of the site sanitary sewer system was not provided for review. We assume the site is equipped with municipal sanitary sewer.

Observation/Comments:

- No problems were reported or observed with the on-site sewer system. Pricing has not been included in this section.

3.2. FRAME AND ENVELOPE

3.2.1. FOUNDATION

Description:

The building appears to be equipped with a crawlspace foundation system made up of concrete footings and CMU stem walls.

Observation/Comments:

- Typical items that indicate building differential settlement are visual cracking at the slab surface or masonry veneer cracks at concentrated load areas, such as above windows and doors or at building corners. Significant cracking can also often be observed in rigid flooring systems (i.e. concrete or tile).
- We did observe one area of minor step cracking within the brick veneer for the building. However, there were no major structural concerns identified with the building. **Note: this report should not be considered a formal structural engineering assessment of the building, as such work is outside the scope of a Property Condition Assessment.**

3.2.2. BUILDING FRAME

Description:

The building is framed with all wood components consisting of wooden floor joists, load bearing exterior wall framing, and a stick framed roof truss system.

Observation/Comments:

- Structurally the building appeared to be in good condition. There was no visual evidence of any significant movement of the frame or other structural concerns found during our site visit.
- Based on the conditions observed, we have not included any Immediate or Short-Term Repair Estimates in Section 4 of this report for framing elements of the building.

3.2.3. BUILDING EXTERIOR

3.2.3.1. Sidewall System

Description:

The exterior of the building is equipped with painted CMU stem walls along the bottom perimeter of the building, painted brick veneer, and horizontal lap siding.

Observation/Comments:

- The paint on the exterior stem walls appeared to be in poor condition. Several areas of paint flaking were observed, suggesting possible water intrusion or improper venting.
- The exterior brick appeared to be in fair to good condition. We observed one area of minor step cracking within the brick veneer and a few areas of faded brick veneer paint.
- The lap siding appeared to be in fair to poor condition. Siding damage was observed along the bottom perimeter and in other isolated areas, and faded paint was observed in multiple locations. The siding appears to have moisture damage in multiple locations.
- An Exterior Repair Allowance has been included within the Short-Term Repair section of this report to remove damaged siding and replace with new cementitious lap siding. We have included a general allowance for repairs and not a full replacement, yet we note that full replacement of the exterior siding may be best for uniform appearance and proper waterproofing of the veneer. Upon removal of damaged areas, it may be found that sheathing or framing members have water damage and additional repairs may be necessary.
- The Exterior Repair Allowance is also intended to include an estimate to allow for removing debris from the crawlspace vents and re-seal and repaint the entire exterior of the building.

3.2.3.2. Soffits/Canopies

Description:

The building is equipped with vinyl soffits along the perimeter of the roof line.

Observation/Comments:

- The vinyl soffits appeared to be in good condition. Pricing has not been included for this item.

3.2.3.3. Exterior Decks, Stairs and Railings

Description:

The building has a concrete stair landing to the main entry along with metal railings around the perimeter of the stairs and landing area.

Observation/Comments:

- The stair system and metal railings were found to be in fair to good structural condition and in need of repainting and general refurbishment.
- An allowance for repainting and refurbishment is included in the Exterior Repair Allowance noted in Section 4 of this report.

3.2.3.4. Exterior Doors

Description:

The building is equipped with a storefront aluminum framed main entry door and a hollow metal framed opening with a steel door at the back elevation of the building.

Observation/Comments:

- The storefront entry door appeared to be in fair condition. No broken seals were observed; however, cracked caulking was observed around the door opening. We have included pricing for this repair within the Exterior Opening Allowance.
- The hollow metal and steel framed door systems were observed to be in fair condition. The door slab had visual damage from what appeared to be a break-in attempt. Pricing for these repairs fall below the \$5,000 threshold for inclusion within this report.

3.2.3.5. Windows and Storefront

Description:

The building is equipped with double-hung wooden windows at the side and rear elevations and fixed storefront windows along the front elevation.

Observation/Comments:

- The wooden window systems at the original building appeared to be in poor condition. Faded paint, exposed wood surfaces, failed caulking, and failed window seals were observed. Pricing has been included within the Short-Term Repair Section of this report to replace all the wood window systems in the original building.
- Repainting, re-caulking, and resealing the window openings located within the building addition and at the front storefront window openings are included in the Exterior Repair Allowance noted in Section 4.

3.2.4. ROOFING

Description:

The building is equipped with asphalt shingled roofing with rolled asphalt roofing on the small, shed roof.

Observation/Comments:

- The asphalt shingled roofing and rolled roofing appeared to be in good condition. We do not know the exact age of the roofing material; however, based on our observations, we estimate the roof to be less than 10 years old. Pricing has not been included in this section based on the conditions observed.

3.3. INTERIOR ELEMENTS

Description:

The interior finishes consisted of suspended grid ceilings and painted gypsum board ceilings. The wall finishes consisted of painted gypsum wall board and wallpaper. The flooring consisted of rolled carpeting and ceramic tiles.

Observation/Comments:

- To gain an understanding of the typical condition of interior finishes and to develop an opinion with reasonable confidence regarding the present condition of the building interior, we performed a walkthrough of the interior of the building.
- The interior finishes are outdated and appeared to be in poor to fair condition. We observed several areas of ceiling staining from a presumed pre-existing roof leak. Typical wear and tear damage was observed on the wall coverings throughout the building. We observed several areas of staining and damage to the rolled carpeting. We also observed areas of exposed subflooring where flooring has been removed.
- Pricing has been included within the Immediate Repair Section of this report to replace all of the flooring finishes.
- We have included an Interior Repair Allowance within the Short-Term Repair Section of this report for ceiling tile replacements, wallpaper removal, and interior painting of the gypsum board and interior trim.

3.3.1. ATTICS

Description:

The building is equipped with attic space accessible via a ceiling hatch in the original building interior.

Observation/Comments:

- The attic area was observed to have loose fill insulation between ceiling joists at varying depths ranging from 4-8 inches. The insulation was not of continuous thickness and thus has varying insulating value. The insulation was likely installed to an R-Value of R-15, and current codes for new construction would have 12-18 inches of cellulose insulation installed.
- While bringing the attic insulation to current code requirements is not necessary (unless significant renovation is planned), no work is required, yet it may be worth considering adding insulation in the attic for better heating and cooling efficiency for the structure.

- We have not included any allowance for energy efficiency upgrades, as those are outside the scope of this report.
- Otherwise, we also observed rodent traps in the attic, and the Owner onsite noted that prior rodent trapping had occurred in the attic. Also, some areas of chewed/damaged insulation on wiring were observed in the attic and we have included an allowance for repairs within Section 3.4.3 below.

3.4. PLUMBING, HVAC, AND ELECTRICAL

3.4.1. PLUMBING

3.4.1.1. Supply and Waste Piping

Description:

Supply piping was observed to be mostly copper piping. The drainage piping consisted of the original cast-iron with some areas consisting of PVC piping. The basement is equipped with a sump pump.

Observation/Comments:

- No problems were reported or observed with the supply, waste, and vent piping. We assume the sump pump was utilized for pre-existing drainage issues. The basement area was observed to be dry at the time of our inspection. Pricing has not been included in this section.

3.4.1.2. Hot Water Production

Description:

Hot water production for the building is accomplished via a 50-gallon electric tanked water heater located in the basement area beneath the original building.

Observation/Comments:

- The electric water heater appeared to be in good condition and manufactured in 2019.
- Hot water was not observed at the faucet locations in the building; however, we assume the building is not currently utilizing hot water. Pricing has not been included in this section, yet we note that basic startup and maintenance of the water heater could be required for reliable operation.

3.4.1.3. Fixtures

Description:

Bathroom fixtures consist of vanity mounted sinks and standard porcelain toilets.

Observation/Comments:

- The restroom fixtures were observed to be in fair condition. No issues were observed or reported, and no Immediate or Short-Term Replacement Costs are anticipated for this building component.

3.4.2. CONDITIONED AIR AND VENTILATION

Description:

The building is heated and cooled via 2 gas fired split systems made up of exterior condensing units and air handler units (1) mounted within the basement and (1) mounted within an interior utility closet.

Observation/Comments:

- The typical useful life for these systems is 20 years depending on routine upkeep/maintenance, regional weather/climate, and location/placement of the equipment. All the split system equipment is Carrier units manufactured in 2024.
- All systems were operational at the time of our inspection; thus, pricing has not been included for this section.

3.4.3. ELECTRICAL

Description:

The building is equipped with a 200-amp service. The main distribution panel (MDP) is located within the original building area and serves a sub panel within the added addition.

Observation/Comments:

- The electrical system appeared to be in fair to poor condition. We observed original wiring (60+ years old), unshielded commercial wiring, exposed and damaged wiring within the attic space, missing breaker labels and outdated panel directories at the MDP and sub panel.
- The light fixtures appeared to be in good working order with the exception of a few fixtures needing bulb replacements.
- Based on random testing of outlets, we did not observe any outlets without power; however, we did observe several open ground outlets, non-grounding-type receptacles, and the absence of GCFI protection in the bathrooms.
- We have included an Electrical Upgrade/Modernization and Repair Allowance within the Immediate Repair Section of this report for the noted electrical issues mentioned above.

3.5. ELEVATORS

Description:

The building is not equipped with an elevator.

Observation/Comments:

- N/A.

3.6. FIRE/LIFE SAFETY

Description:

The building is not protected by a sprinkler system, fire alarm monitoring system, or emergency egress devices. The building is equipped with wall mounted fire extinguishers.

Observation/Comments:

- The fire extinguisher annual inspection was noted as current (November 2024).
- Pricing has been included within the Immediate Repair Section of this report to install illuminated exit signage and emergency egress lighting throughout the building.

3.7. ASBESTOS / ENVIRONMENTAL CONCERNS

Description:

No specific environmental concerns have been reported or are known about the building.

Observation/Comments:

- We were not engaged to complete a Phase I Environmental Site Assessment (ESA) or any environmental testing of the building, and we have not been provided with any such reports to review.
- The building was reportedly built in 1952; thus, asbestos and lead-based paint were possibly utilized within the original building components used to construct the building. More recent renovations of the space may have completed abatement or encapsulation work, yet we have not received any hazardous material survey information on the building to confirm.

3.8. BUILDING CODE VIOLATION ISSUES

Description:

We did not observe significant building code violations during our site visit, yet we did note some fire and life safety concerns (wiring and exit signage). We have submitted an Open Records Request to XXX County, XX to receive any information related to open or pending violations or other issues that could affect the use of the subject property.

Observations/Comments:

- We have not received a response from XXX County as of the issuance of this report.

3.8.1. AMERICANS WITH DISABILITY ACT (ADA) COMPLIANCE

Description:

Title III of the Americans with Disabilities Act (ADA) divides buildings into two main categories, Buildings of Public Accommodation and Commercial Facilities. The provisions of Title III provide that people with disabilities should have equal or similar access to public facilities as is available to the general public.

It should be understood that the ADA is a civil rights law and is not, per se, a building code, though local building code officials often enforce it in this area under state specific accessibility codes. The ADA is enforced as civil rights and is typically enforced through the judicial system, and violations of the ADA are considered discrimination against people with disabilities.

While a complete ADA survey is beyond the scope of this assessment, a limited check was conducted as part of the assessment report.

Observations/Comments:

- The building was constructed before passage of the Americans with Disabilities Act (ADA), which occurred in 1999.
- ADA requirements of landlords and tenants can change depending on the tenant business type, and certain businesses that provide goods and services to the public are required to make reasonable public accommodations to allow people with disabilities access to the public areas of a business.
- We note that the parking area serving the building is not equipped with a handicapped parking space or an accessible, at-grade entry to the building. Pricing has been included within the Immediate Repair Section of this report to dedicate an ADA parking spot at the back elevation of the building in close proximity to the existing wheelchair ramp (rear of building). Additionally, the rear access doorway could be modified to be an at-grade entry option for the building if desired. The wheelchair ramp at the rear should be modified to have a smooth entry to the rear doorway, and signage should be placed at the main entry advising as to the location of the ADA entry. Or if preferred, the front entrance could be modified with a ramp, yet this would likely not be an economically feasible option (not a “reasonable accommodation”). Note, this report is not a formal ADA assessment and additional input from an Accessibility Consultant is recommended if further ADA recommendations are warranted.
- The restrooms are not equipped with typical ADA accessories, such as grab bars at the toilets or levered door and faucet hardware. The addition of grab bars and levered door handles at the main area bathroom is recommended as a “reasonable accommodation” for accessibility improvements. We have included an allowance for this within the Immediate and Short-Term Repair Estimate in Section 4 of this report.

3.9. DOCUMENT REVIEW AND INTERVIEWS

Description:

We requested relevant documentation that would aid in our assessment of the property. The following documentation was requested:

Documentation Requested		
Item	Furnished for Review	Comments
Certificate of Occupancy.	Not Provided.	
Safety Inspection Records.	Not Provided.	
Zoning Variances or Restrictions.	Not Provided.	No Records Found.
Warranty Information.	Not Provided.	
Records indicating the age of systems.	Not Provided.	
Historical costs incurred for repairs, improvements, recurring replacements, etc.	Not Provided.	None reported.
Pending proposals or executed contracts for material repairs or improvements.	Not Provided.	None reported.
Outstanding Citations for Building, Fire and/or Zoning Code Violations.	Not Provided.	Awaiting Open Records Response from XXX County.
Previously prepared Property Condition Reports.	Not Provided.	
As-built Drawings.	Not Provided.	
Most Recent Appraisal, Promotional Literature and Location Map.	Not Provided.	
Pre-inspection Questionnaire and Disclosure Schedule.	Not Provided.	

4. Cost Estimates to Remedy Physical Deficiencies

The Immediate and Short-term Repairs Cost Estimate Table below summarizes our opinions of the probable cost to remedy physical deficiencies observed. Items in need of immediate replacement are items representing an immediate life-safety concern, liability issue, code compliance issue or item that if it were not repaired immediately, would require more substantial costs if the work was delayed to a later date.

Our estimates are based on our own prior experience with projects of this type, as well as resources such as *R. S. Means*. Work that we consider normal maintenance for a facility of this type, such as yard work or work normally performed by an on-site maintenance staff, is not considered in our evaluation. We have not included repair costs for items with a value of less than \$5,000; however, items relating to life safety or accessibility are identified regardless of this cost threshold.

Also note, costs are based on direct work with trades to complete the work and do not contemplate utilizing a General Contractor to coordinate all of the work items. If a General Contractor is chosen to complete the noted renovation work, an additional 20%-25% should be considered for General Contractor Overhead, Profit, and Fee.

Immediate and Short-Term Repairs Cost Estimate

Item	Quantity	Unit	Unit Cost	Budget \$ Immediate	Budget \$ Short Term
Asphalt Mill & Overlay/Striping	8,500	SF	\$5.00/SF	\$0	\$42,500
Tree Removal and Trimming	1	EA	\$5,000	\$0	\$5,000
Dumpster Pad/Bollards	1	EA	\$5,000	\$0	\$5,000
Water Service – Plumbing Repairs	1	EA	\$1,500	\$1,500	\$0
Exterior Repair Allowance – Siding, Waterproofing, Paint	1	EA	\$25,000	\$0	\$25,000
Window Replacements (Original Structure)	8	EA	\$1,000	\$0	\$8,000
Flooring Replacements	4,000	SF	\$5.00	\$0	\$20,000
Interior Repair Allowance	4,000	SF	\$5.00	\$0	\$20,000
Electrical Upgrade/Repair Allowance	1	EA	\$17,000	\$17,000	\$0
Emergency Egress Devices	4	EA	\$200	\$800	\$0
ADA Parking Spot, Grab Bars, Levered Door Hardware	1	EA	\$2,000	\$2,000	\$0
Grand Totals				\$21,300	\$125,500

5. Qualifications

5.1. LIMITING CONDITIONS

This Property Condition Assessment was performed in general accordance with ASTM Standard E 2018-01. As such, the limitations of our Property Condition Assessment are consistent with the limitations of the ASTM Standard.

5.2. CONSULTANT'S CERTIFICATION

This report is intended for the sole use of **XXX**. It is not intended for use by a third party and may only be used with the prior consent of USA PROPERTY CONDITION CONSULTANTS.

This report is not intended to usurp the responsibility or limit the liability of any Architects, Engineers, Contractors and Subcontractors, or Testing Firms of record.

This Property Condition Assessment was performed by the USA PROPERTY CONDITION CONSULTANTS project management team that included the following individuals:

Field Observer(s): Ryan Jones

Report Author(s): Matt Parker

These individuals have a rounded knowledge of pertinent building systems and components and are experienced in conducting property condition assessments. As is typical for baseline Property Condition Assessments, specialty consultants, building systems mechanics or specialized service personnel were not utilized during our assessment.

Appendix

EXHIBIT A: BUILDING AND SITE PHOTOGRAPHS

EXHIBIT B: 10-YEAR REPLACEMENT RESERVE TABLE

EXHIBIT C: COUNTY PROPERTY INFORMATION

EXHIBIT A: BUILDING PHOTOGRAPHS – SITE AND EXTERIOR



Picture 1: View of the entry/exit apron.



Picture 2: View of the internal drive.



Picture 3: View of the water meter and valve location.



Picture 4: View of standing water in the valve box.



Picture 5: View of another valve box.



Picture 6: View of standing water in the water meter box.



Picture 7: View of the grassy landscaping.



Picture 8: View of drainage issues.



Picture 9: View of erosion issues at the front of the site.



Picture 10: Additional view of the drainage issues.



Picture 11: View of the overhead power feeding the building.



Picture 12: View of the trees along the eastern elevation.



Picture 13: View of the overgrowth at the main power feed.



Picture 14: View of the eastern elevation of the building.



Picture 15: View of the cracked paving at the northeastern elevation.



Picture 16: Closeup of the cracked paving.



Picture 17: View of minor siding damage.



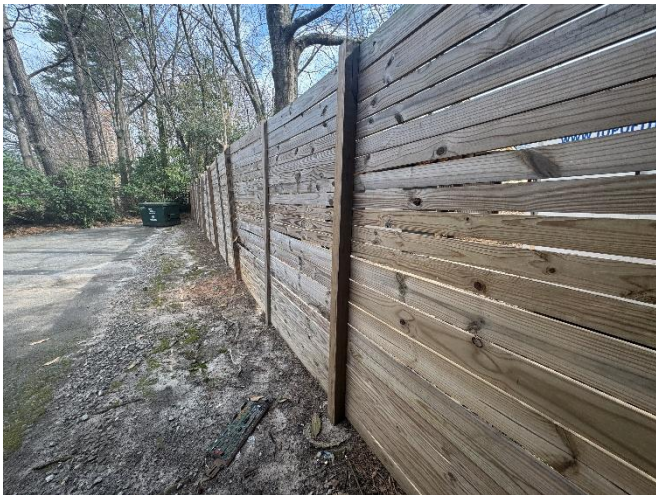
Picture 18: View of the damaged paving from tree roots.



Picture 19: View of the back elevation of the building.



Picture 20: View of the fencing running along northern property line.



Picture 21: Additional view of the fencing.



Picture 22: View of the asphalt paving at the back elevation.



Picture 23: Closeup of the paving.



Picture 24: View of the dumpster location.



Picture 25: Overview of the paving at the back elevation.



Picture 26: Closeup of alligator cracking.



Picture 27: View of the landscaping along the western elevation.



Picture 28: View of the alligator cracking along the internal drive.



Picture 29: Closeup of alligator cracking adjacent to the building.



Picture 30: Additional view of the internal drive.



Picture 31: View of the crawlspace vents.



Picture 32: View of the curbing and additional alligator cracking.



Picture 33: Overview of the front parking area.



Picture 34: View of the main entry steps.



Picture 35: View of the siding.



Picture 36: View of the southwest corner of the building.



Picture 37: Overview of the front elevation.



Picture 38: Closeup of cracked window caulking.



Picture 39: View of the vinyl soffits.



Picture 40: Closeup of the front entry steps.



Picture 41: Closeup of the main entry door.



Picture 42: View of a front elevation window.



Picture 43: Closeup of cracked window caulking.



Picture 44: View of the painted brick at the eastern elevation.



Picture 45: View of a window.



Picture 46: Closeup of window damage.



Picture 47: Additional closeup of window damage.



Picture 48: View of the electrical meter.



Picture 49: Closeup of additional window damage.



Picture 50: Closeup of failed caulking.



Picture 51: View of a window.



Picture 52: View of the back elevation.



Picture 53: View of the basement entry door.



Picture 54: View of the condensing units.



Picture 55: View of a back elevation window.



Picture 56: Overview of the back elevation windows.



Picture 57: Additional view of the back elevation windows.



Picture 58: View of minor siding damage.



Picture 59: View of a moveable ramp.



Picture 60: View of the rear egress door.



Picture 61: Closeup of missing downspout extensions.



Picture 62: View of the western elevation windows.



Picture 63: Closeup of pavement cracking.



Picture 64: Closeup of a crawlspace vent.



Picture 65: View of the faded paint at the CMU stem walls.



Picture 66: Overview of the roof.



Picture 67: Overview of the roof.



Picture 68: Overview of the roof.



Picture 69: View of the chimney.



Picture 70: Closeup of the chimney flashing.



Picture 71: Overview of the roof.



Picture 72: View of the back parking lot.



Picture 73: Overview of the roof.



Picture 74: View of the electrical mast.



Picture 75: View of the gutter guards.



Picture 76: View of the shed roofing.

EXHIBIT A: BUILDING PHOTOGRAPHS – INTERIOR



Picture 77: View of the basement access.



Picture 78: View of the water heater.



Picture 79: View of an air handler.



Picture 80: View of newer drain piping.



Picture 81: View of older drain piping (cast iron).



Picture 82: View of a sump pump.



Picture 83: View of exposed wiring.



Picture 84: View of the entry lobby.



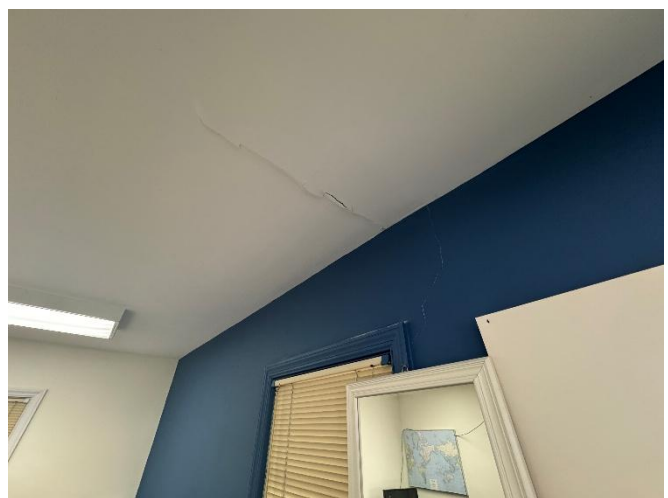
Picture 85: Closeup of a valid inspection tag.



Picture 86: View of open workspaces.



Picture 87: View of an office room.



Picture 88: Closeup of ceiling cracking.



Picture 89: View of an office room.



Picture 90: View of damaged carpeting.



Picture 91: View of a non-grounded outlet.



Picture 92: View of the MDP.



Picture 93: Closeup of the missing breaker labels and outdated panel directory.



Picture 94: View of a restroom.



Picture 95: View of the sink piping.



Picture 96: View of abandoned shut-off valves.



Picture 97: View of a storage closet.



Picture 98: View of an active thermostat.



Picture 99: View of an office room.



Picture 100: View of the office room ceiling.



Picture 101: View of the fireplace.



Picture 102: View of an office room.



Picture 103: View of a non-grounded outlet .



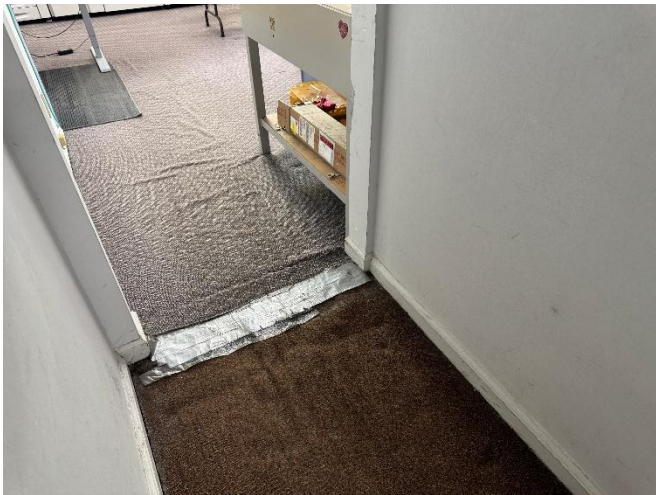
Picture 104: View of an office room.



Picture 105: View of a filing room.



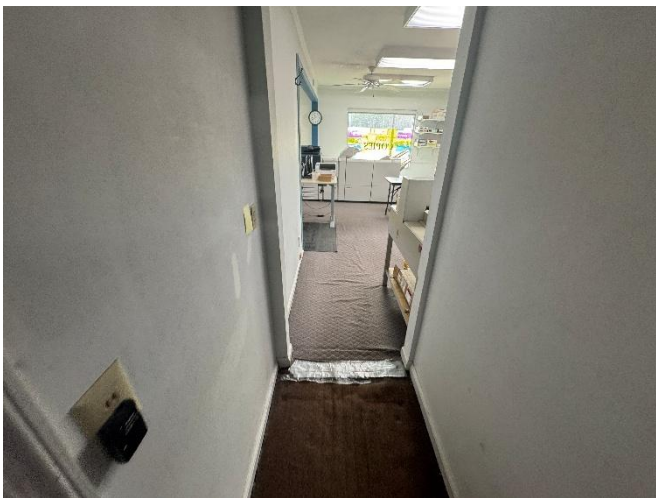
Picture 106: Closeup of damaged carpeting.



Picture 107: View of a missing threshold.



Picture 108: Closeup of damage carpeting.



Picture 109: View of the hallway.



Picture 110: View of an outlet with an open ground.



Picture 111: View of the printing room.



Picture 112: View of a reception desk.



Picture 113: View of a storage closet.



Picture 114: Closeup of drywall damage.



Picture 115: View of a filing room.



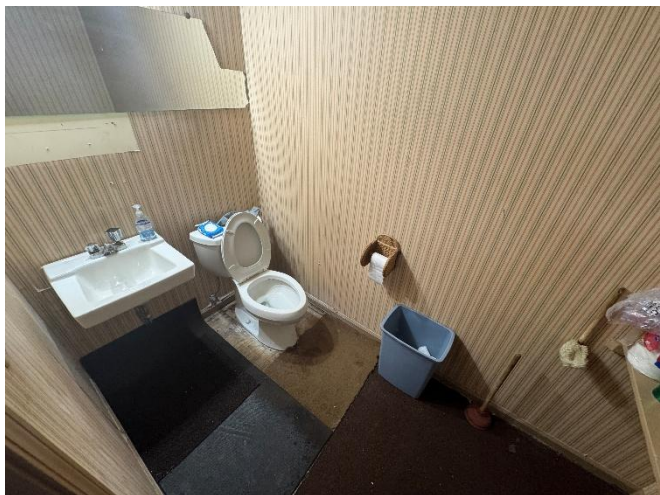
Picture 116: View of a printing room.



Picture 117: View of stained ceiling tiles.



Picture 118: View of a sub panel.



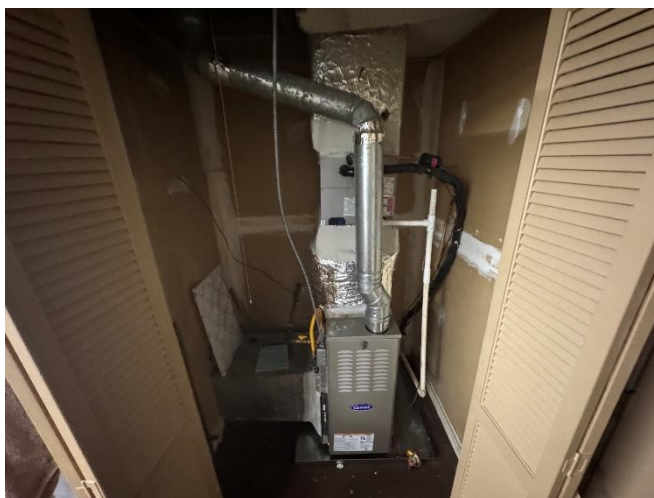
Picture 119: View of a restroom.



Picture 120: View of an unprotected outlet.



Picture 121: View of ceiling tile staining at the restroom.



Picture 122: View of an air handler.



Picture 123: View of a free-standing sink with no hot water.



Picture 124: View of an active thermostat.



Picture 125: View of a storage room.



Picture 126: View of wallpaper damage.



Picture 127: View of a valid inspection tag.



Picture 128: View of the security system control panel.



Picture 129: Closeup of additional ceiling tile staining.



Picture 130: Closeup of damaged electrical wiring.



Picture 131: View of the attic space.



Picture 132: View of the attic space.



Picture 133: View of the attic space.



Picture 134: Closeup of damaged electrical wiring.

EXHIBIT B: 10-YEAR REPLACEMENT RESERVE TABLE

Replacement Reserve Schedule																			
Item	Avg	EFF					Cost												Total
	EUL	AGE	RUL	Quantity	Unit	Unit	Over	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	over term	
	(yr)	(yr)	(yr)			cost	Cycle	1	2	3	4	5	6	7	8	9	10		\$
SITE																			
Asphalt Pavement Sealant & Striping	5	0	5	5,500	SF	\$0.80	\$4,400	\$0	\$0	\$0	\$0	\$4,400	\$0	\$0	\$0	\$0	\$4,400		\$8,800
EXTERIORS																			
Exterior Pressure washing and Caulking/Sealing Building	5	0	5	4,000	SF	\$3.00	\$12,000	\$0	\$0	\$0	\$0	\$0	\$12,000	\$0	\$0	\$0	\$0		\$12,000
INTERIORS																			
Allowance - Repaint & Soft Flooring Replacements	7	0	7	4,000	SF	\$5.00	\$20,000	\$0	\$0	\$0	\$0	\$0	\$0	\$20,000	\$0	\$0	\$0		\$20,000
Fire Life & Safety																			
Fire Extinguisher (replace 10% per year)	7	varies	varies	6	EA	\$50.00	\$300	\$30	\$30	\$30	\$30	\$30	\$30	\$30	\$30	\$30	\$30		\$300
PV ANNUAL REQUIREMENTS (ROUNDED)								\$30	\$30	\$30	\$30	\$4,430	\$12,030	\$20,030	\$30	\$30	\$4,430		\$41,100
Inflation Factor								100.00%	103.00%	106.09%	109.27%	112.55%	115.93%	119.41%	122.99%	126.68%	130.48%		
FV OF TOTAL ANNUAL RESERVES								\$30	\$31	\$32	\$33	\$4,986	\$13,946	\$23,917	\$37	\$38	\$5,780		\$48,829

EXHIBIT C: COUNTY PROPERTY INFORMATION

3/18/25, 7:24 AM

Comp Search (Commercial)

Start Comp Search

Summary

Parcel Number
Location Address

Legal Description
Property Class
Neighborhood
Tax District
Millage Rate
Approximate/Computed Acres
Exemption Type

[View Map](#)

Owner

Land

Land Type	Land Code	Description	Square Feet	Acres	Price
S	911	MAJOR ROAD PRIMARY	21,344	0.4900	\$345,770

Total Acres:
0.4900
Total Land Value:
\$345,770

Commercial Improvement Information

Card 1
Building No 1
Structure Code/Desc 353-OFIC BLD L/R

Card 2
Building No 1
Structure Code/Desc 353-OFIC BLD L/R

Accessory Information

Card 1	Description	Year Built	Area	Grade	Value
1	RAVING ASP	1976	7,000	D-BELOW AVERAGE	\$7,030

Permits

Date	Number	Amount	Purpose
02/01/1992	107578	\$7,000	

Valuation

	2024	2023	2022	2021	2020
LUC	353	353	353	353	353
Class	C3	C3	C3	C3	C3
+ Land Value	\$345,800	\$345,800	\$345,800	\$345,800	\$346,120
+ Building Value	\$61,400	\$61,400	\$61,400	\$61,400	\$61,080
= Total Value	\$407,200	\$407,200	\$407,200	\$407,200	\$407,200
Assessed Value	\$162,880	\$162,880	\$162,880	\$162,880	\$162,880

Tax Information

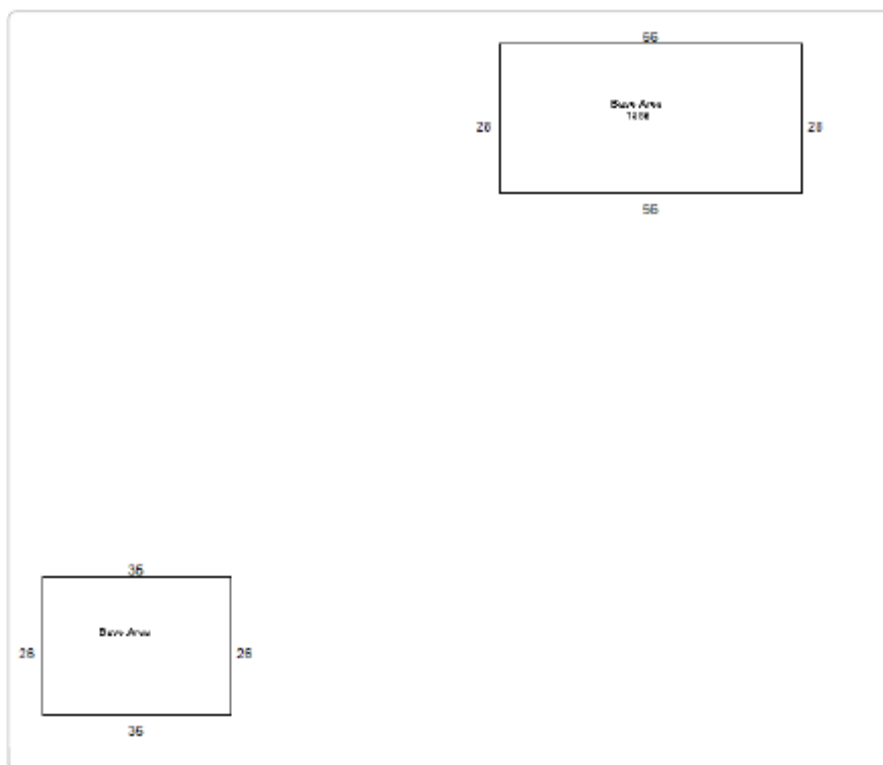
[Link to Tax Commissioner website](#)

Sales

Sale Date	Sale Price	Instrument	Deed Book	Deed Page	Qualification	Sales Validity	Owner	Previous Owner	Recording
2/19/1992	\$250,000	WD	07190	00402	Qualified	Valid Sale RMV	TOCO INSTANT PRINTING INC	BARTON CHANDLER B	07190-00402
11/23/1988	\$0	MC	0***	0***	Unqualified	Old Code No Longer Used			0***0***
2/1/1979	\$0	WD	04195	00242	Qualified	Valid Sale RMV			04195-00242

https://qpublic.schneidercorp.com/Application.aspx?AppID=994&LayerID=20256&PageTypeID=4&PageID=8824&Q=1358869169&Key=Value=18+112+... 1/2

Sketches



No data available for the following modules: Comp Search (Residential), Comp Search (Vacant), Residential Improvement Information, Appeals, Photos.

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